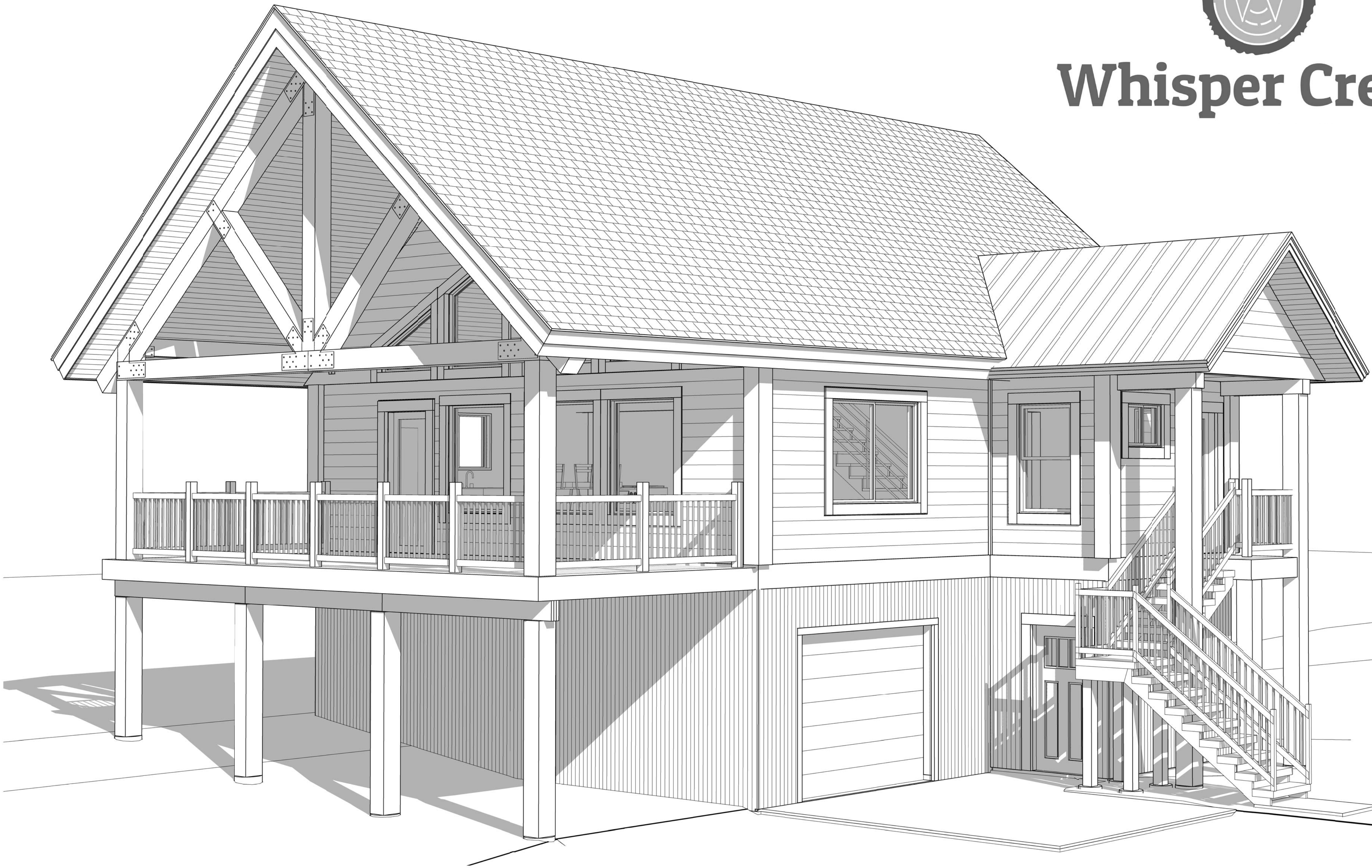




Whisper Creek



PLAN NO.: 7044-000
SHEET TITLE: COVER SHEET
SHEET NO.: A0.0



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ARCHITECT/ENGINEER OF RECORD:

REVISIONS

No.	By:	Date:

PROJECT NAME:
**HOMESTEAD
LOFTED CUSTOM**

OWNER:

ADDRESS:

DRAWING TITLE:
COVER SHEET

PROJECT NO.:
7044-000

FINALS

DRAWN BY: JCF
CHECKED BY: MANAGER
DATE: 6/4/2018 11:36:16 AM
SHEET NO.:
A0.0

ATTENTION:

- SITE PLANS:** SITE PLANS SHALL BE PREPARED AND SUBMITTED BY THE OWNER CONTRACTOR AS REQ'D BY THE LOCAL JURISDICTION. ITEMS REQUIRED AND SHOWN MAY INCLUDE BUT ARE NOT LIMITED TO: IDENTIFICATION AND LOCATION OF ALL BUILDINGS, EXISTING AND PROPOSED, LABEL ALL EXISTING AND PROPOSED STREETS, EASEMENTS, FLOOD PLAINS AND ADJACENT PROPERTY LINES (FRONT, REAR, & SIDES.).
- FIRE RESISTIVE CONSTRUCTION:** FIRE RESISTIVE CONSTRUCTION AND/OR FIRE SPRINKLER SYSTEMS NOT ADDRESSED ON THESE PLANS AND REQUIRED BY THE LOCAL JURISDICTION AND ADOPTED CODES ARE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- LATERAL DESIGN:** BECAUSE OF THE RANDOM AND UNPREDICTABLE NATURE OF WIND AND EARTHQUAKE LOADING EVEN A RELATIVELY COMPLETE ANALYSIS, METHODOLOGY, AND DESIGN CANNOT ENSURE THAT THERE WILL BE NO DAMAGE TO STRUCTURES DURING MAJOR EVENTS. LOCAL ADOPTED CODES ARE BASED ON LIFE SAFETY AND NOT "DAMAGE PROOFING". IT IS EXTREMELY IMPORTANT THAT ATTENTION BE PAID TO THE PLACEMENT OF REINFORCING, HOLDOWN EMBEDS, ETC. IN THE FOUNDATIONS, NAILING OF VERTICAL AND HORIZONTAL SHEATHING (WALLS, FLOORS, AND ROOF) AND TO DETAILING SHOWN ON THE PLANS. PROPER IMPLEMENTATION IS REQUIRED TO ENSURE THE DESIRED DESIGN RESPONSE.
- MODIFICATIONS:** STRUCTURAL MODIFICATIONS TO PLANS, FRAMING AND LOADING (DIMENSIONS, MATERIALS, DETAILS, LOCATION AND/OR SIZE OF OPENINGS IN WALLS, HOT TUB LOADING, ETC.) FROM THAT SHOWN ON THE WCLH PLANS CAN ALTER THE STRUCTURAL PERFORMANCE AND WILL VOID ANY LIABILITY BY WCLH OR A/EOR, WITHOUT ADDITIONAL REVIEW AND ANALYSIS AND PRIOR WRITTEN APPROVAL. NEW AND RELOCATED LOADS CAN CAUSE EXCESSIVE DEFLECTION AND EVEN STRUCTURAL FAILURE. INCREASING THE SIZE, NUMBER OR LOCATION OF OPENINGS IN SHEAR WALLS CAN VARY THE LOADING ON SHEAR PANELS BEYOND THEIR LOAD CARRYING CAPACITIES. THE OWNER AND CONTRACTOR SHALL CAREFULLY REVIEW PLANS AND SPECIFICATIONS PRIOR TO INITIATION OF CONSTRUCTION.
- SOILS INVESTIGATION:** WHERE REQUIRED BY THE LOCAL SITE CONDITIONS OR JURISDICTION A GEOTECHNICAL INVESTIGATION (SOILS REPORT) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO THE A/EOR BY THE OWNER/CONTRACTOR FOR REVIEW AND INCORPORATED INTO THE DESIGN. WHEN EXPANSIVE OR COLLAPSE SENSITIVE SOILS ARE PRESENT SPECIAL PROVISIONS MAY BE REQUIRED IN THE FOUNDATION DESIGN. ADDITIONAL FEES WILL BE WARRANTED.

DESIGN CRITERIA

GOVERNING CODES

2015 INTERNATIONAL BUILDING CODE (IBC)
ASCE/SEI 7-10 MIN DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES

LOADINGS

FLOOR	DEAD LOAD	12 PSF
	LIVE LOAD	40 PSF
ROOF	DEAD LOAD	15 PSF
	LIVE (SNOW) LOAD	
	GROUND LOAD	70 PSF
	FLAT ROOF	49 PSF
	EXPOSURE FACTOR	Ce = 1.0
	THERMAL FACTOR	Ct = 1.1
	IMPORTANCE FACTOR	Is = 1.0

WIND DESIGN

ULTIMATE SPEED	90MPH
IMPORTANCE FACTOR	Iw = 1.0
EXPOSURE	C

SEISMIC

SEISMIC DESIGN CATEGORY: C

FROST DEPTH

36"

SOIL

GEOTECHNICAL STUDY: NOT AVAILABLE FOR DESIGN
ALLOWABLE BEARING: 1,500 PSF
SITE CLASS: D

WCLH DESIGN CRITERIA
B

SHEET LIST

SHEET#	SHEET NAME
COVER	
A0.0	COVER SHEET
ARCHITECTURAL	
A1.0	MAIN FLOOR PLAN
A1.1	BASEMENT & LOFT PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A3.0	SCHEDULES
A4.0	SECTIONS
A4.1	SECTIONS
A5.0	FRAMING DETAILS
A5.1	FRAMING DETAILS
A5.2	FRAMING DETAILS
STRUCTURAL	
S1.0	FOUNDATION PLAN
S2.0	MAIN FLOOR FRAMING PLAN
S2.1	LOFT FLOOR FRAMING PLAN
S3.0	ROOF FRAMING PLAN
S4.0	STRUCTURAL DETAILS

DEFERRED SUBMITTAL ITEMS BY CONTRACTOR
TRUSS CALCS BY TRUSS MANUFACTURER

NOTE: WHISPER CREEK LOG HOMES (WCLH) ARE CONSTRUCTED USING NATURAL WOOD PRODUCTS SUBJECT TO DECAY, MAINTENANCE METHODS AND PROCEDURES SET FORTH BY WCLH DOES NOT WARRANTY COMPONENTS INSTALLED LESS THAN 24 INCHES FROM THE GROUND. ANY MATERIAL OR COMPONENTS NOT SPECIFICALLY LISTED IN CONTRACT WITH WCLH ARE TO BE PROVIDED BY THE OWNER CONTRACTOR.

AREA SCHEDULE

NAME	AREA
LIVING	
MAIN FLOOR	993 SF
LOFT	284 SF
BASEMENT	606 SF
	1883 SF
NON-LIVING	
GARAGE	387 SF
	387 SF
TOTAL	2270 SF

FLOOR PLAN NOTES

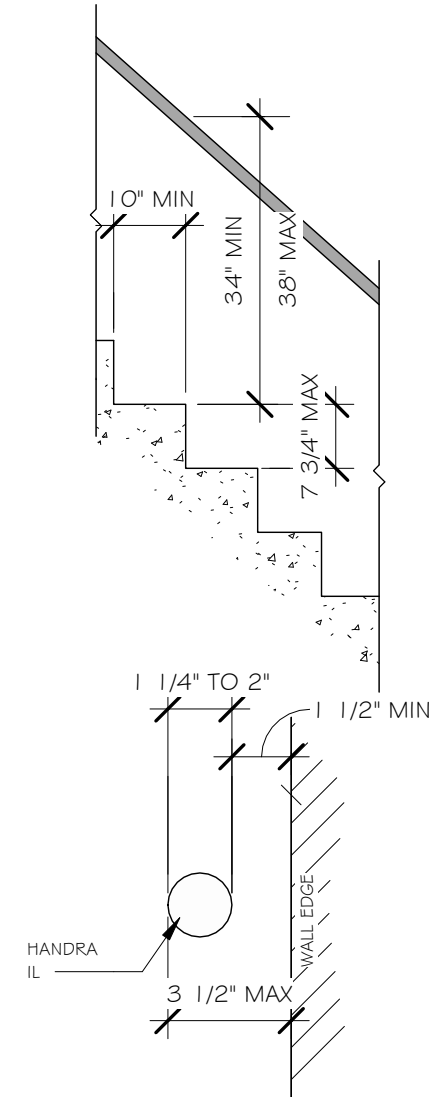
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- THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOORS. WIDTH NOT LESS THAN THE DOOR SERVED. MIN DIMENSION 36 INCH MEASURED IN THE DIRECTION OF TRAVEL.

ABBREVIATIONS

- O/C INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
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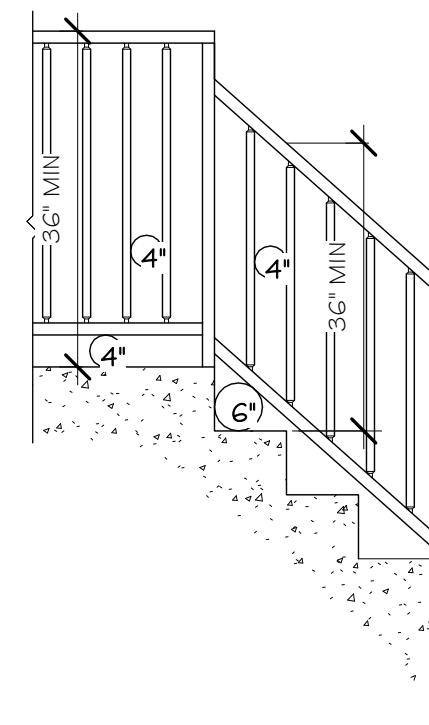
HANDRAIL NOTES:

- RESIDENTIAL STAIRS REQUIRE HANDRAILS ON A MINIMUM OF ONE SIDE.
- HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH ENDS RETURNED TO NEVEL POST OR WALL.
- THE HANDGRIP PORTION OF THE HANDRAILS SHALL NOT BE LESS THAN 1 1/4" INCHES NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTION FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE HANDRAIL AND ANY ABUTTING CONSTRUCTION SO AS TO AVOID INJURY TO FINGERS.



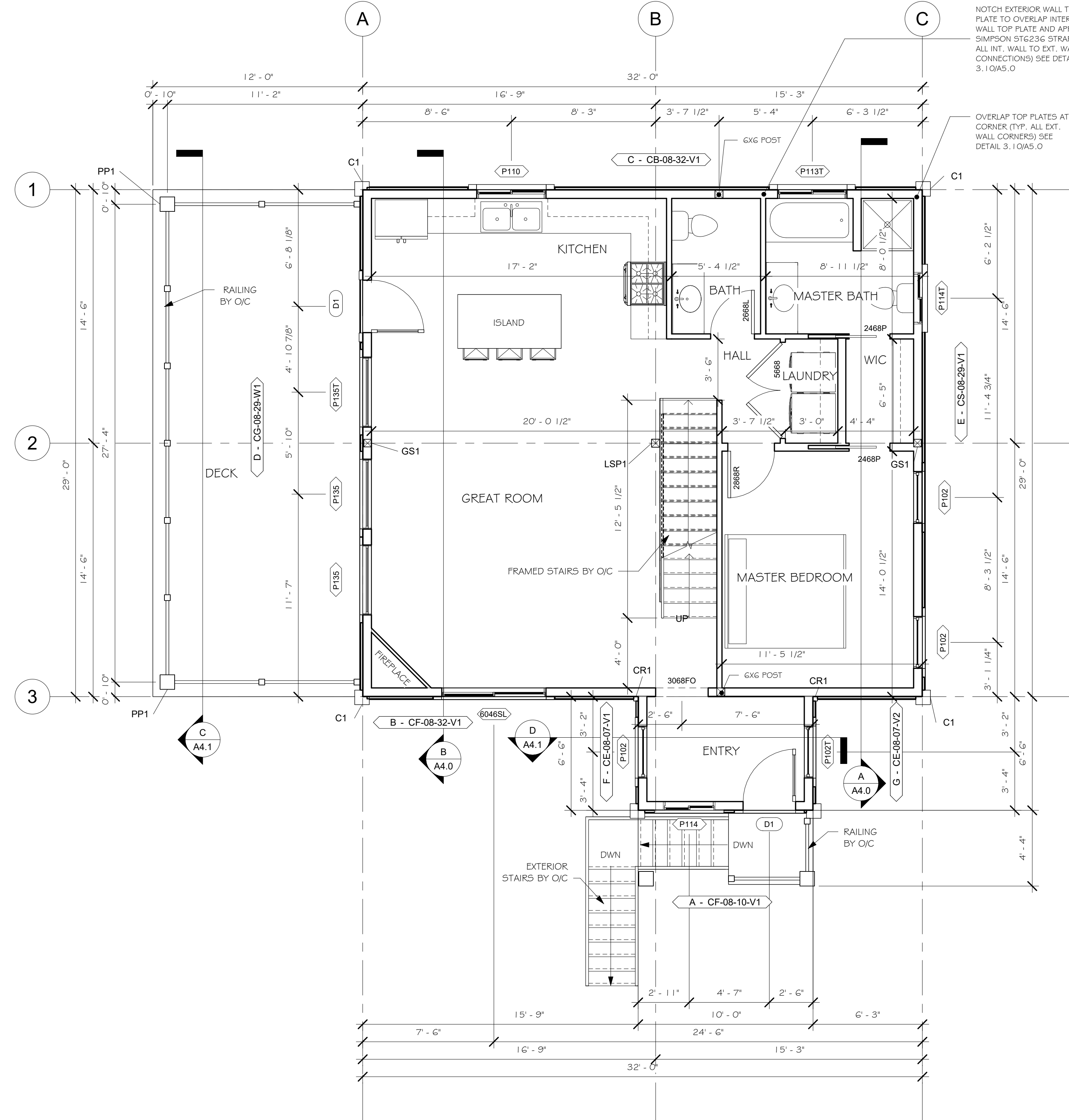
GUARDRAIL NOTES:

- 36" (MIN) HIGH GUARDRAILS ARE REQUIRED FOR UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS, DECKS, RAMPS, AND PORCHES, WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR A FLOOR OR OTHER SURFACE BELOW.
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAIL SPACING OR PATTERN SUCH THAT A 4-INCH SPHERE CANNOT PASS THROUGH AND THE TRIANGULAR AREA FORMED BY TREAD, RISER AND GUARDRAIL SO THAT 6-INCH SPHERE CANNOT PASS THROUGH



STAIRWAY NOTES:

- STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN WIDTH.
- THE RISE OF STEPS SHALL NOT BE LESS THAN 4 INCHES OR GREATER THAN 7-3/4 INCHES. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
- THE RUN SHALL NOT BE LESS THAN 11 INCHES AS MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FURTHER MOST PROJECTION OF ADJACENT TREADS. THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY 3/8 INCH.
- WINDER TREADS SHALL HAVE A MINIMUM OF TREAD DEPTH OF 10" MEASURED AT A POINT 12" FROM THE NARROW SIDE OF THE TREAD, AND HAVE A MINIMUM DEPTH OF 6". WITHIN ANY FLIGHT OF STAIRS THE GREATEST WINDER TREAD DEPTH AT THE 12" WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".



NOTCH EXTERIOR WALL TOP PLATE TO OVERLAP INTERIOR WALL TOP PLATE AND APPLY SIMPSON ST6236 STRAP (TYP. ALL INT. WALL TO EXT. WALL CONNECTIONS) SEE DETAIL 3.10/AS.0

OVERLAP TOP PLATES AT CORNER (TYP. ALL EXT. WALL CORNERS) SEE DETAIL 3.10/AS.0

MAIN FLOOR

1/4" = 1'-0"

PLAN NO.: 7044-000
A1.0
 SHEET TITLE: MAIN FLOOR PLAN



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ARCHITECT/ENGINEER OF RECORD:

REVISIONS		
No.	By:	Date:

PROJECT NAME:
HOMESTEAD LOFTED CUSTOM

OWNER:

ADDRESS:

DRAWING TITLE:
MAIN FLOOR PLAN

PROJECT NO.: **7044-000**
FINALS
 DRAWN BY: JCF
 CHECKED BY: **MANAGER**
 DATE: 6/4/2018 11:36:17 AM
 SHEET NO.: **A1.0**

BASEMENT NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS SHOWN ON THESE PLANS AND W/ BUILDING SITE PRIOR TO COMMENCING ANY WORK ON PROJECT.
- ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
- PROVIDE WINDOW WELLS AS REQUIRED BY FINISH GRADE. (CONTRACTOR TO VERIFY). SEE WINDOW WELL DETAIL.
- BASEMENTS ENCLOSING CONDITIONED SPACE SHALL BE INSULATED.
- UNFINISHED AND FINISHED SPACES SHALL BE SEPARATED BY A DOOR.

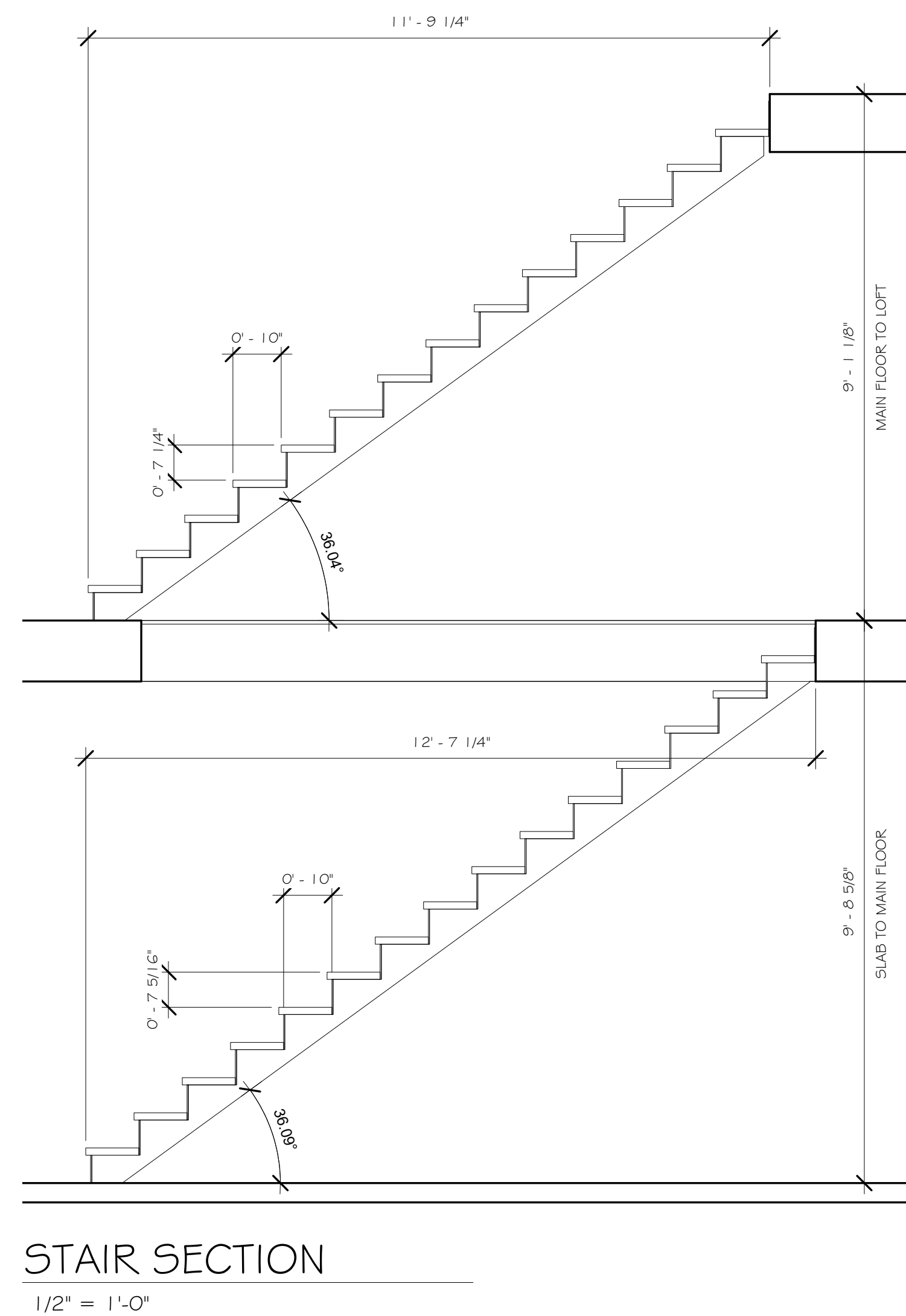
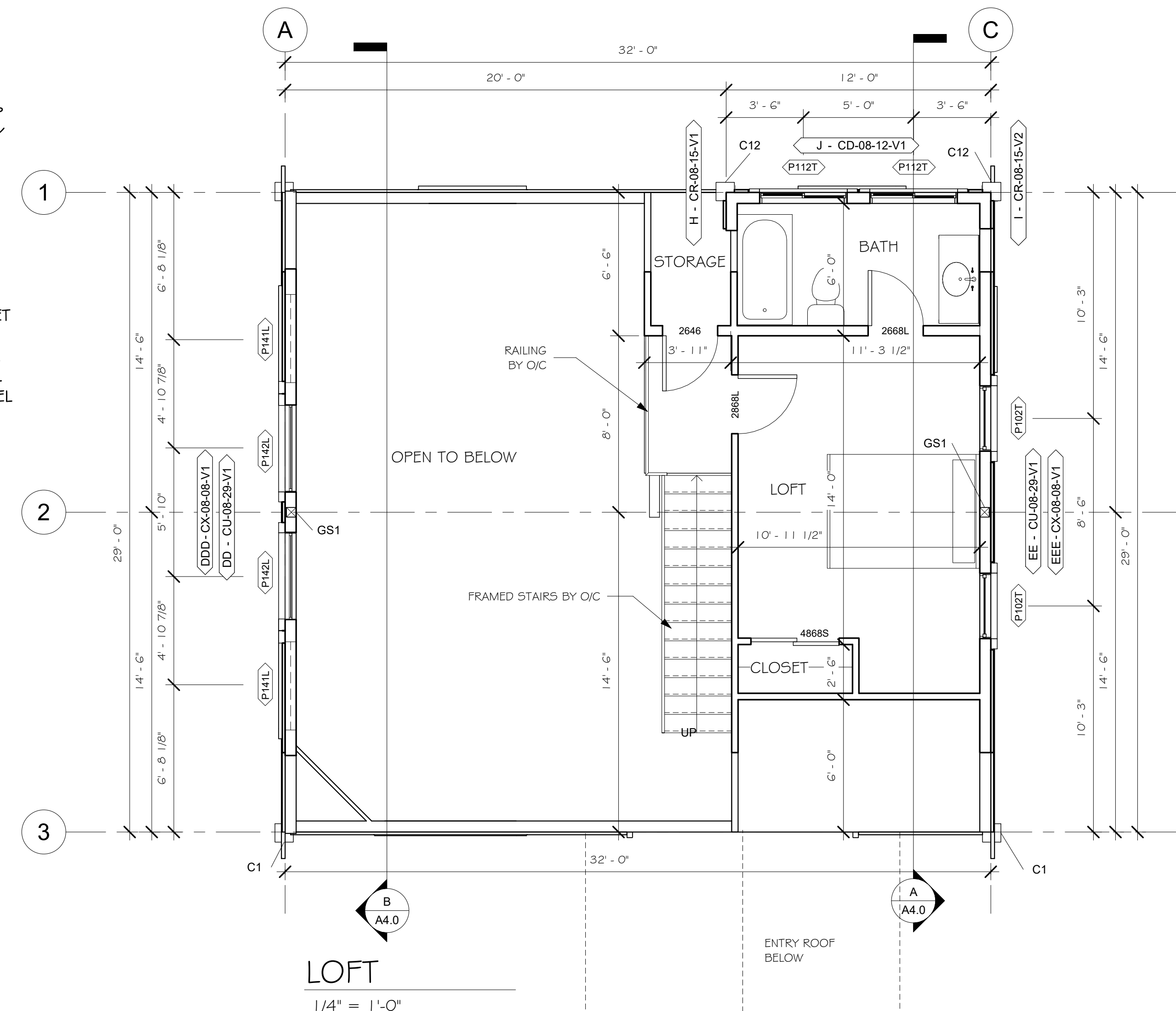
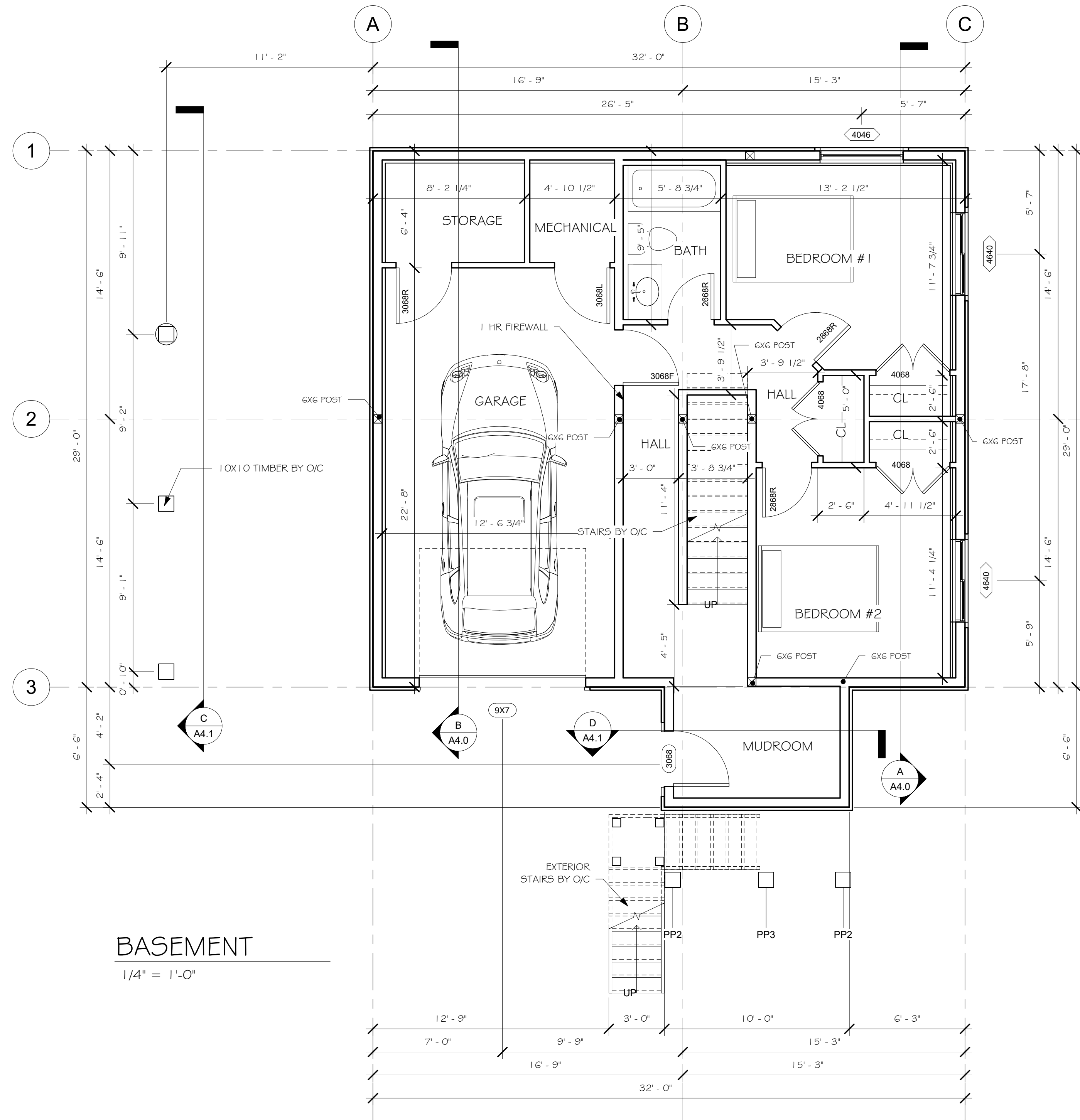
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 A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD

GARAGE NOTES

- OPENING PROTECTION:** DOORS LEADING FROM A DWELLING TO A GARAGE SHALL BE 1-3/8 INCH MIN, SOLID WOOD OR STEEL OR HONEYCOMB CORE STEEL DOORS, OR 20-MINUTE LABELED FIRE-RATED SELF CLOSING, TIGHT FITTING DOORS. DIRECT OPENINGS FROM GARAGE TO SLEEPING ROOMS ARE NOT PERMITTED.
- FIRE SEPARATION:** THE GARAGE SIDE OF INTERIOR WALLS SHALL BE 1/2 INCH GYPSUM BOARD (5/8 INCH TYPE "X" RECOMMENDED AND REQUIRED IN SOME JURISDICTIONS). WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY THE STRUCTURE SUPPORTING THE CEILING SUCH AS, BEARING WALLS, COLUMNS AND BEAMS, SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE "X" GYPSUM BOARD, WITH SUPPORTING WALLS ALSO COVERED WITH 5/8 INCH TYPE "X" GYPSUM BOARD.
- ELECTRICAL PANELS:** ELECTRICAL PANELS SHALL NOT PENETRATE THE GARAGE SIDE GYPSUM BOARD MEMBRANE OR SHALL BE WRAPPED WITH 5/8 INCH TYPE "X" GYPSUM BOARD ON THE TOP, BOTTOM, SIDES AND BACK.
- SLOPED FLOOR:** GARAGE FLOORS SHALL BE SLOPED TO DRAIN TO THE GARAGE DOOR.
- ATTIC ACCESS:** WHEN REQUIRED PROVIDE ATTIC ACCESS DOORS (22 INCH X 30 INCH MIN OPENING) WITH A 30 INCH MIN UNOBSTRUCTED HEADROOM. ACCESS DOOR SHALL BE A MIN OF 20 MINUTE RATED WITH LABEL, OR EQUIVALENT CONSTRUCTION WITH POSITIVE LATCH AND HINGE.
- APPLIANCES IN GARAGE:** PROVIDE PROTECTION FROM AUTOMOTIVE IMPACT. APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE IS NOT LESS THAN 18 INCH ABOVE THE GARAGE FLOOR.

- PENETRATIONS:** PLUMBING PENETRATIONS THROUGH GARAGE WALL SHALL BE WITH METAL PIPING. INCLUDING WASTE LINES, VACUUM LINES, ETC. AN APPROVED FIRE STOP MATERIAL MUST BE USED. DUCT PENETRATIONS SHALL BE BY MIN 26 GAUGE SHEET METAL, WITH ANY OPENINGS INTO THE GARAGE PROTECTED BY FIRE DAMPERS. NO WINDOWS ARE PERMITTED IN GARAGE FIRE WALL OR IN DOOR BETWEEN THE HOUSE AND GARAGE.
- ELECTRICAL OUTLETS:** FIRE-RESISTIVE WALLS AND PARTITIONS MAY HAVE OPENINGS FOR STEEL ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE INCHES IN AREA, PROVIDED THE AGGREGATE AREA OF SUCH OPENINGS IS NOT MORE THAN 100 SQUARE INCHES FOR ANY 100 SQUARE FEET OF WALL OR PARTITION AREA. OUTLET BOXES ON OPPOSITE SIDES OF WALLS AND PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24 INCHES. ELECTRICAL BOXES IN WALL BETWEEN HOUSE AND GARAGE SHALL BE STEEL OR RATED FOR AT LEAST 1-HOUR CONSTRUCTION BY AN APPROVED TESTING AGENCY.



FLOOR PLAN NOTES

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7044-000
BASEMENT & LOFT PLAN
A1.1

Whisper Creek

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ARCHITECT/ENGINEER OF RECORD:

REVISIONS		
No.	By:	Date:

PROJECT NAME:
HOMESTEAD LOFTED CUSTOM

OWNER:

ADDRESS:

DRAWING TITLE:
BASEMENT & LOFT PLAN

PROJECT NO.:
7044-000

FINALS

DRAWN BY: JCF
 CHECKED BY: MANAGER
 DATE: 6/4/2018 11:36:18 AM
 SHEET NO.:
A1.1

ELEVATION NOTES

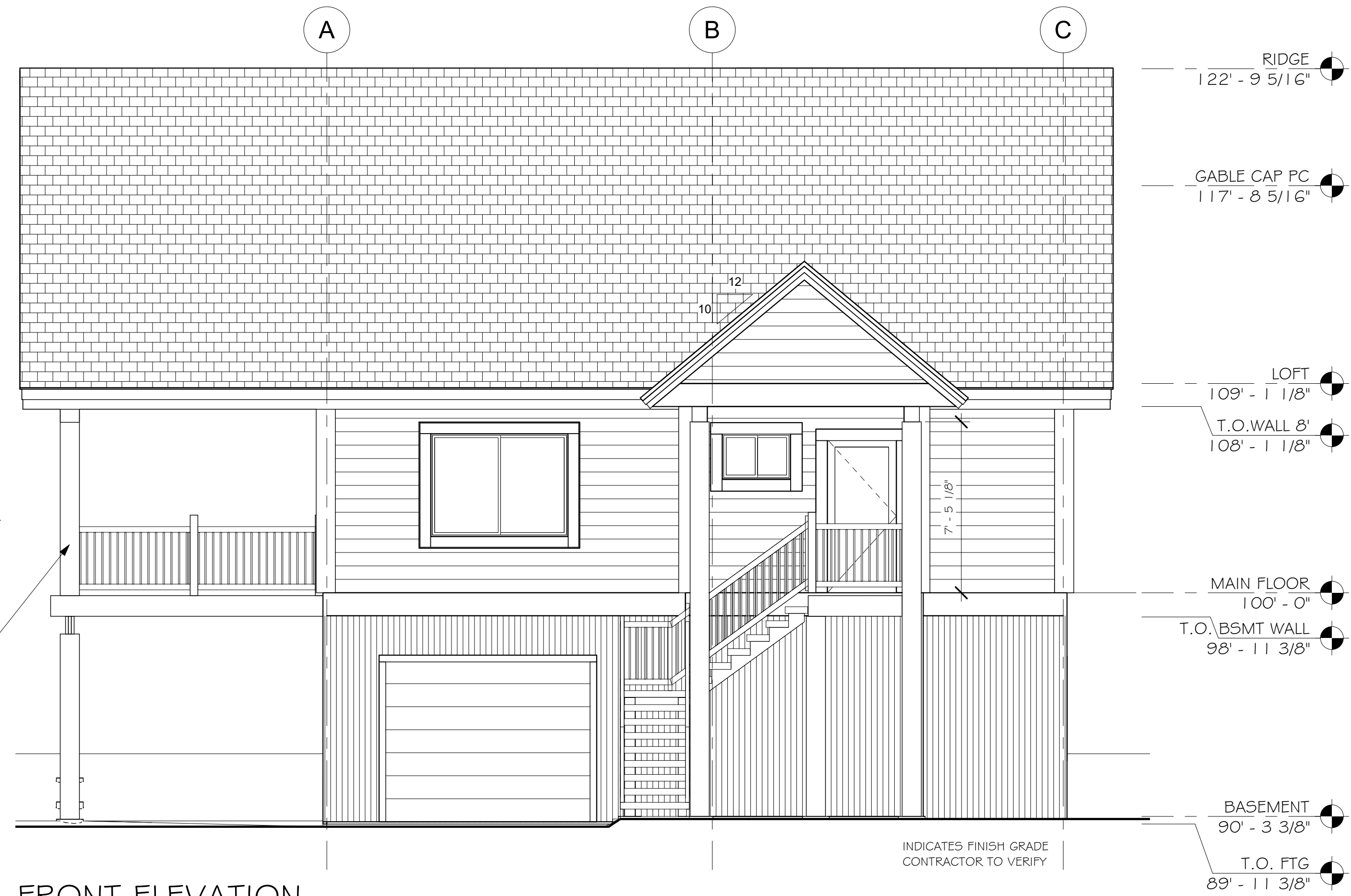
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3. LOTS SHALL BE GRADED TO DRAW SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
4. CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

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NOTE: FOR DOOR TRIM ATTACHMENT SEE DETAIL 3.23/AG.1

ALL PORCH POSTS & NEWEL POST PROVIDED BY WCLH ARE TO HAVE COBRA RODS (PLACED IN POST BY WCLH) EXCEPT HALF NEWEL POST AND CORNER POSTS.

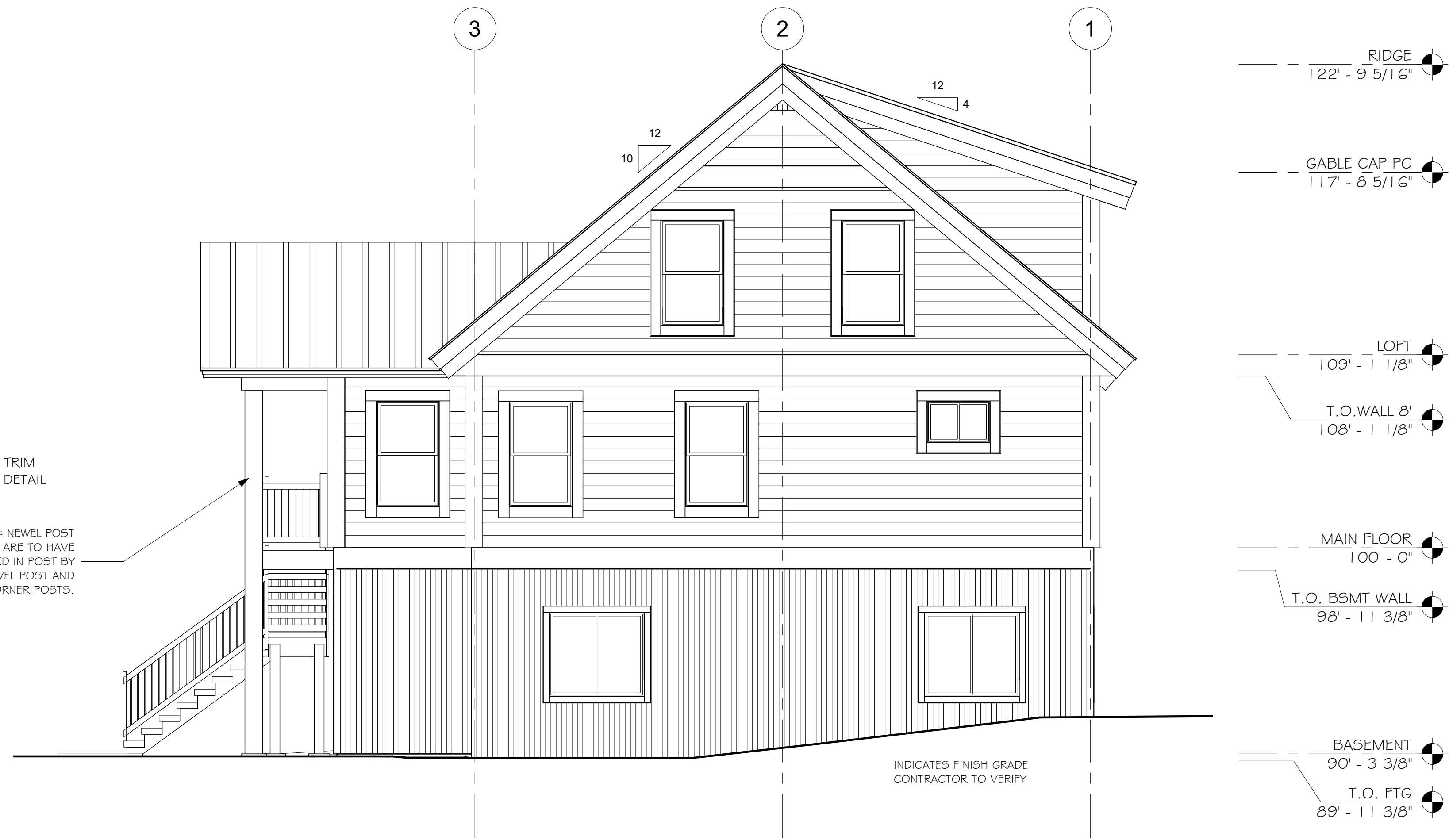


FRONT ELEVATION

1/4" = 1'-0"

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RIGHT ELEVATION

1/4" = 1'-0"

SHEET TITLE: **ELEVATIONS**

PLAN NO.: 7044-000

SHEET NO.: **A2.0**

Whisper Creek

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ARCHITECT/ENGINEER OF RECORD:

REVISIONS

No.	By:	Date:

PROJECT NAME: **HOMESTEAD LOFTED CUSTOM**

OWNER:

ADDRESS:

DRAWING TITLE: **ELEVATIONS**

PROJECT NO.: **FINALS**

DRAWN BY: JCF

CHECKED BY: **MANAGER**

DATE: 6/4/2018 11:36:19 AM

SHEET NO.: **A2.0**

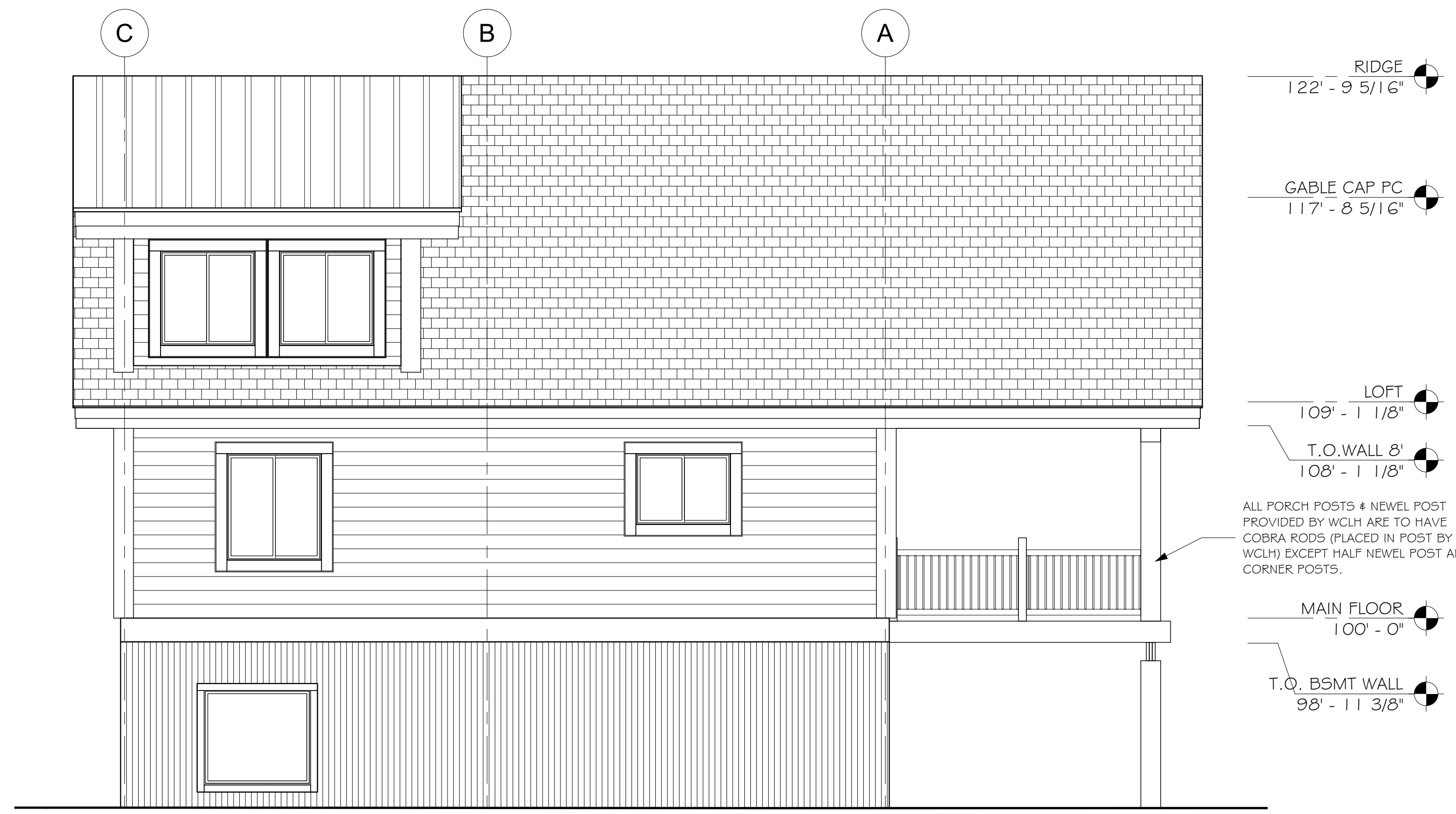
PLAN NO.: 7044-000

ELEVATION NOTES

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RIDGE
122' - 9 5/16"

GABLE CAP PC
117' - 8 5/16"

LOFT
109' - 1 1/8"

T.O. WALL 8'
108' - 1 1/8"

MAIN FLOOR
100' - 0"

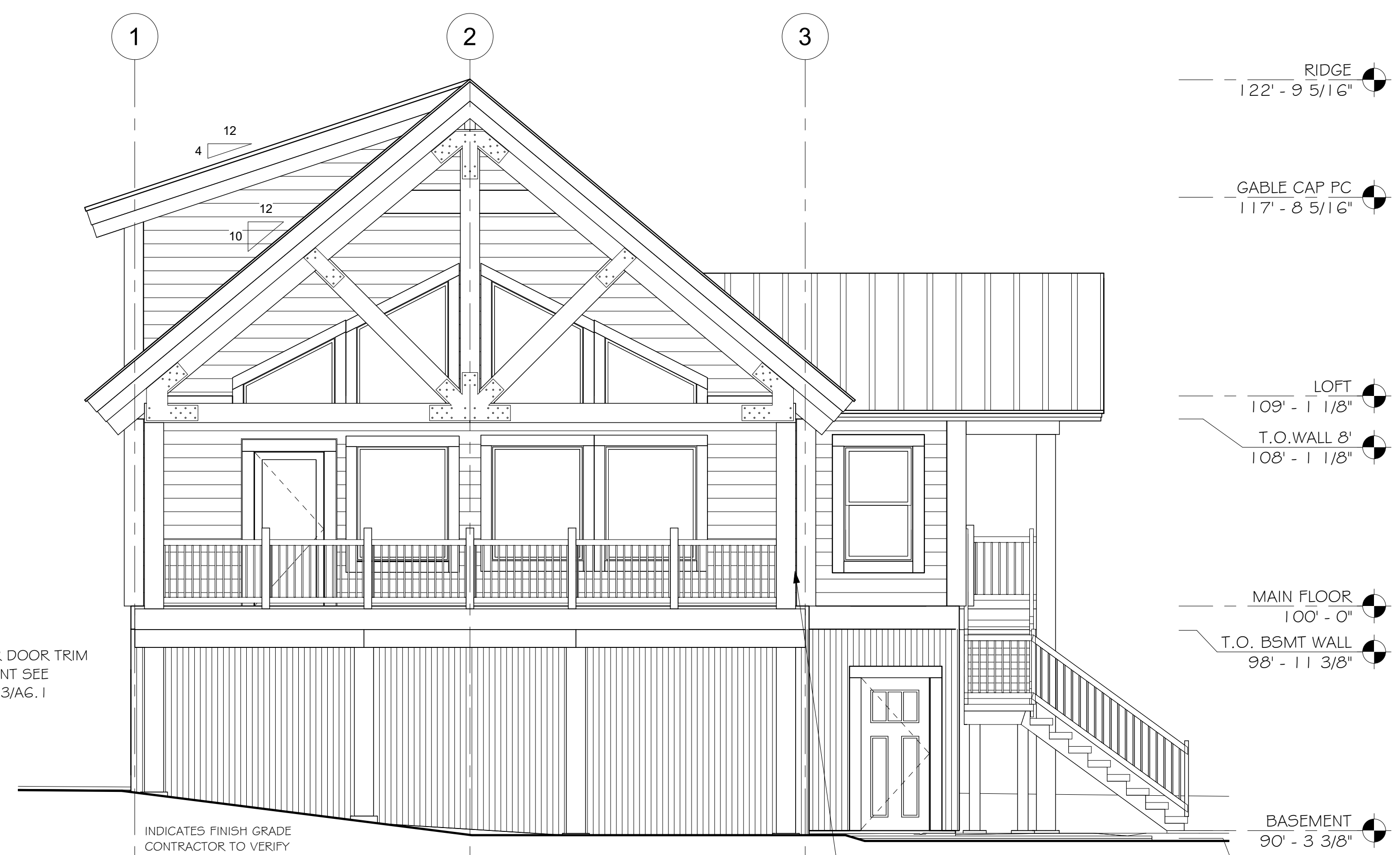
T.O. BSMT WALL
98' - 11 3/8"

ALL PORCH POSTS & NEWEL POST PROVIDED BY WCLH ARE TO HAVE COBRA RODS (PLACED IN POST BY WCLH) EXCEPT HALF NEWEL POST AND CORNER POSTS.

INDICATES FINISH GRADE CONTRACTOR TO VERIFY

BACK ELEVATION

1/4" = 1'-0"



RIDGE
122' - 9 5/16"

GABLE CAP PC
117' - 8 5/16"

LOFT
109' - 1 1/8"

T.O. WALL 8'
108' - 1 1/8"

MAIN FLOOR
100' - 0"

T.O. BSMT WALL
98' - 11 3/8"

BASEMENT
90' - 3 3/8"

T.O. FTG
89' - 11 3/8"

NOTE: FOR DOOR TRIM ATTACHMENT SEE DETAIL 3.23/AG.1

INDICATES FINISH GRADE CONTRACTOR TO VERIFY

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LEFT ELEVATION

1/4" = 1'-0"

PLAN NO.: 7044-000
SHEET TITLE: **ELEVATIONS**
SHEET NO.: **A2.1**

Whisper Creek

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ARCHITECT/ENGINEER OF RECORD:

REVISIONS		
No.	By:	Date:

PROJECT NAME:
HOMESTEAD LOFTED CUSTOM

OWNER:

ADDRESS:

DRAWING TITLE:
ELEVATIONS

PROJECT NO.: **7044-000**

FINALS

DRAWN BY: JCF
CHECKED BY: **MANAGER**
DATE: 6/4/2018 11:36:20 AM
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