



Whisper Creek



MOOSE HOLLOW BID SET

COVER SHEET	PLAN NO:	M06-000-U-MH
	SHEET NO:	A-0.0

3

THESE PLANS, DRAWINGS, AND DESIGNS ARE THE PROPERTY OF WHISPER CREEK LOG HOMES (WCLH). ALL RIGHTS RESERVED AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESSED WRITTEN CONSENT FROM AN OFFICER OF WCLH. UNDER PENALTY OF PROSECUTION, THESE PLANS ARE RELEASED FOR CONSTRUCTION ON THE SITE DESCRIBED HEREON AND NO OTHER.

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ARCHITECT/ENGINEER OF RECORD:

REVISIONS		
No.	By	Date

PROJECT NAME:

MOOSE HOLLOW

OWNER:

BID SET

ADDRESS:

DRAWING TITLE:

COVER SHEET

M06-000-U-MH	PROJECT NO:	07-000	FILE PATH:	C:\Documents and Settings\lenie\Desktop\Moose Hollow Bid Set.rvt
	DRAWN BY:	-	CHECKED BY:	-
	DATE:	-	SHEET NO:	A-0.0

ATTENTION

1. **SITE PLAN:** SITE PLAN(S) SHALL BE PREPARED AND SUBMITTED BY THE OWNER/CONTRACTOR AS REQ'D BY THE LOCAL JURISDICTION. ITEMS REQUIRED AND SHOWN MAY INCLUDE BUT ARE NOT LIMITED TO: IDENTIFICATION AND LOCATION OF ALL BUILDINGS, EXISTING AND PROPOSED, LABEL ALL EXISTING AND PROPOSED STREETS, EASEMENTS, FLOOD PLAINS AND ADJACENT PROPERTY LINES, DIMENSIONS FROM PROPOSED STRUCTURE TO ALL PROPERTY LINES (FRONT, REAR & SIDES).

2. **FIRE RESISTIVE CONSTRUCTION:** FIRE RESISTIVE CONSTRUCTION AND FIRE SPRINKLER SYSTEMS HAVE NOT BEEN ADDRESSED IN THESE DOCUMENTS OTHER THAN SEPARATION OF ATTACHED GARAGE. ANY FIRE RESISTIVE CONSTRUCTION AND FIRE SPRINKLER SYSTEMS REQUIRED BY THE LOCAL JURISDICTION AND ADOPTED CODES ARE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.

3. **LATERAL DESIGN:** BECAUSE OF THE RANDOM AND UNPREDICTABLE NATURE OF WIND AND EARTHQUAKE LOADING EVEN A RELATIVELY COMPLETE ANALYSIS, METHODOLOGY, AND DESIGN CANNOT ENSURE THAT THERE WILL BE NO DAMAGE TO STRUCTURES DURING MAJOR EVENTS. LOCAL ADOPTED CODES ARE BASED ON LIFE SAFETY AND NOT "DAMAGE PROOFING". IT IS EXTREMELY IMPORTANT THAT ATTENTION BE PAID TO THE PLACEMENT OF REINFORCING, HOLDOWN EMBEDS, ETC. IN THE FOUNDATIONS, NAILING OF VERTICAL AND HORIZONTAL SHEATHING (WALLS, FLOORS, AND ROOF) AND TO DETAILING SHOWN ON THE PLANS. PROPER IMPLEMENTATION IS REQUIRED TO ENSURE THE DESIRED DESIGN RESPONSE.

4. **MODIFICATIONS:** STRUCTURAL MODIFICATIONS TO PLANS, FRAMING AND LOADING (DIMENSIONS, MATERIALS, DETAILS, LOCATION AND OR SIZE OF OPENINGS IN WALLS, HOT TUB LOADING, ETC.) FROM THAT SHOWN ON THE WCLH PLANS CAN ALTER THE STRUCTURAL PERFORMANCE AND WILL VOID ANY LIABILITY BY WCLH OR A/EOR, WITHOUT ADDITIONAL REVIEW AND ANALYSIS AND PRIOR WRITTEN APPROVAL. NEW AND RELOCATED LOADS CAN CAUSE EXCESSIVE DEFLECTION AND EVEN STRUCTURAL FAILURE. INCREASING THE SIZE, NUMBER OR LOCATION OF OPENINGS IN SHEAR WALLS CAN VARY THE LOADING ON SHEAR PANELS BEYOND THEIR LOAD CARRYING CAPACITIES. THE OWNER AND CONTRACTOR SHALL CAREFULLY REVIEW PLANS AND SPECIFICATIONS PRIOR TO INITIATION OF CONSTRUCTION.

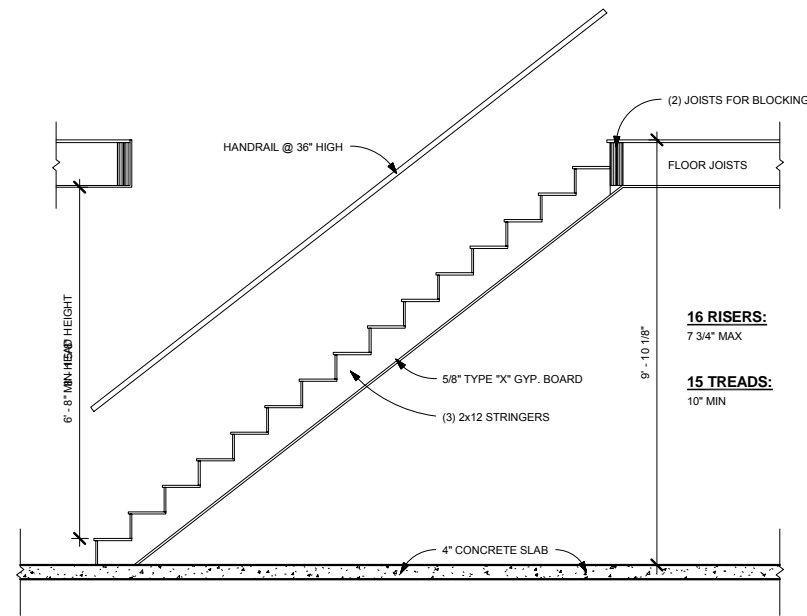
5. **SOILS INVESTIGATION:** WHERE REQUIRED BY THE LOCAL SITE CONDITIONS OR JURISDICTION A GEOTECHNICAL INVESTIGATION (SOILS REPORT) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO THE A/EOR BY THE OWNER/CONTRACTOR FOR REVIEW AND INCORPORATION INTO THE DESIGN. WHEN EXPANSIVE OR COLLAPSE SENSITIVE SOILS ARE PRESENT SPECIAL PROVISIONS MAY BE REQUIRED IN THE FOUNDATION DESIGN. ADDITIONAL FEES WILL BE WARRANTED.

AREAS	
NAME	AREA
MAIN	2822 SF
LOFT (>5ft)	2075 SF
Grand total	4897 SF
BASEMENT	610 SF
GARAGE	2212 SF

NOTE: WHISPER CREEK LOG HOMES (WCLH) ARE CONSTRUCTED USING NATURAL WOOD PRODUCTS SUBJECT TO DECAY. MAINTENANCE METHODS AND PROCEDURES SET FORTH BY WCLH SHALL BE FOLLOWED. WCLH DOES NOT WARRANTY COMPONENTS INSTALLED LESS THAN 24 INCHES FROM THE GROUND.

LIST OF DRAWINGS	
SHEET NO:	SHEET TITLE
ARCHITECTURAL	
A-1.0	BASEMENT PLAN
A-1.1	MAIN FLOOR PLAN
A-1.2	LOFT FLOOR PLAN
A-2.0	FRONT & LEFT ELEVATIONS
A-2.1	REAR & RIGHT ELEVATIONS
A-3.0	BUILDING SECTION
A-3.1	ARCHITECTURAL ELEVATIONS & DETAILS
A-4.0	COMPONENT ISOMETRIC & SCHEDULE
STRUCTURAL	
S-1.0	FOOTING & FOUNDATION PLAN
S-2.0	MAIN FLOOR FRAMING PLAN
S-2.1	LOFT FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-4.0	FOOTING & FOUNDATION DETAILS
S-5.0	FRAMING DETAILS
S-5.1	FRAMING DETAILS
ELECTRICAL	
E-1.0	MAIN ELECTRICAL PLAN
E-1.1	ELECTRICAL PLANS

DEFERRED SUBMITTAL ITEMS BY CONTRACTOR	
FIREPLACE SPECIFICATIONS	
GAS LINE DIAGRAM BY MECH. CONTRACTOR	
HEAT LOSS CALCS BY MECH. CONTRACTOR	
TRUSS CALCS BY TRUSS MANUFACTURER	



BASEMENT STAIR SECTION

1/2" = 1'-0"

GARAGE NOTES

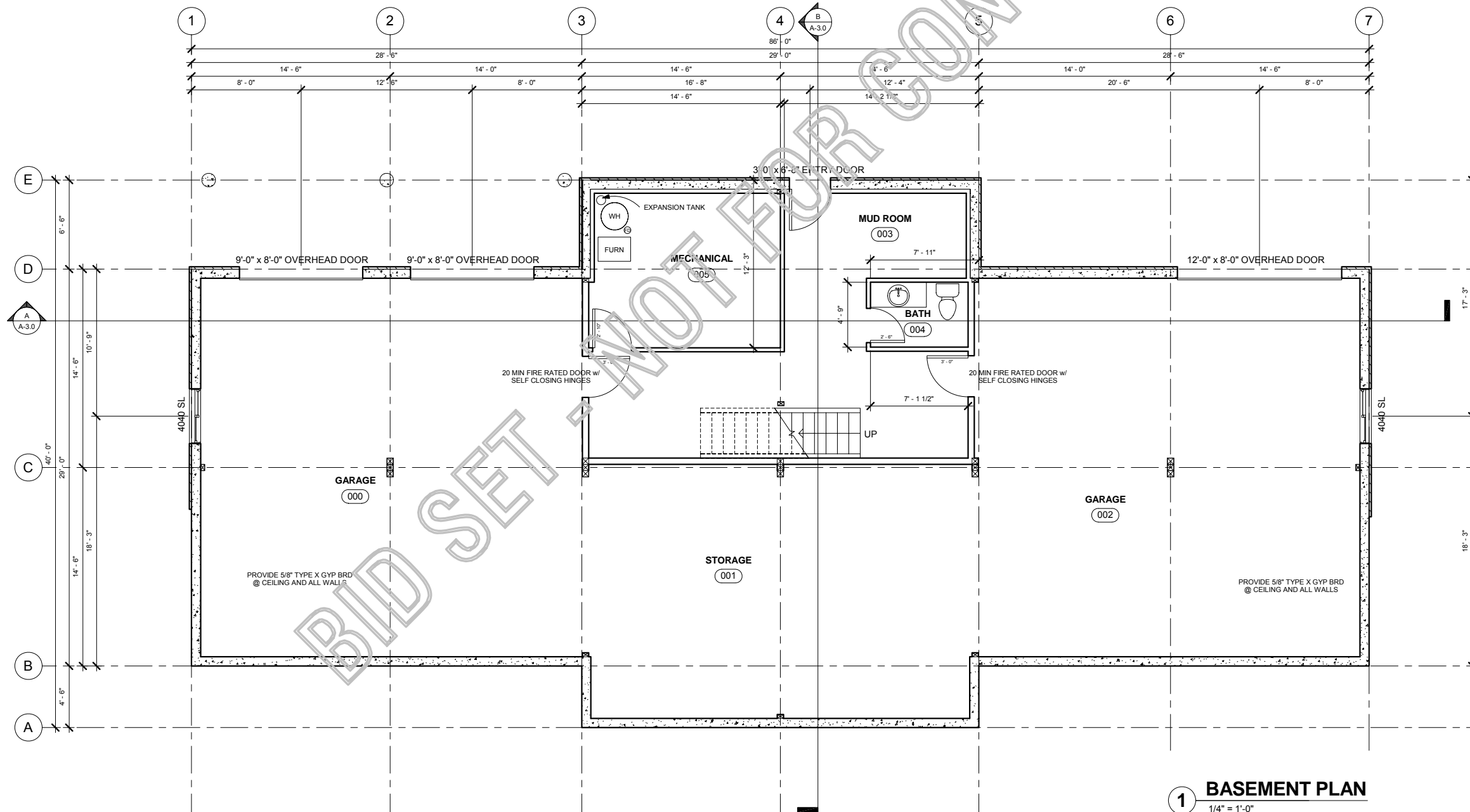
- OPENING PROTECTION:** DOORS LEADING FROM A DWELLING TO A GARAGE SHALL BE 1-3/8 INCH MIN. SOLID WOOD OR STEEL OR HONEYCOMB CORE STEEL DOORS, OR 20-MINUTE LABELED FIRE-RATED SELF CLOSING, TIGHT FITTING DOORS. DIRECT OPENINGS FROM GARAGE TO SLEEPING ROOMS ARE NOT PERMITTED.
- FIRE SEPARATION:** THE GARAGE SIDE OF INTERIOR WALLS SHALL BE 1/2 INCH GYPSUM BOARD (5/8 INCH TYPE "X" RECOMMENDED AND REQUIRED IN SOME JURISDICTIONS). WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY THE STRUCTURE SUPPORTING THE CEILING SUCH AS, BEARING WALLS, COLUMNS AND BEAMS, SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE "X" GYPSUM BOARD, WITH SUPPORTING WALLS ALSO COVERED WITH 5/8 INCH TYPE "X" GYPSUM BOARD.
- ELECTRICAL PANELS:** ELECTRICAL PANELS SHALL NOT PENETRATE THE GARAGE SIDE GYPSUM BOARD MEMBRANE OR SHALL BE WRAPPED WITH 5/8 INCH TYPE "X" GYPSUM BOARD ON THE TOP, BOTTOM, SIDES AND BACK.
- SLOPED FLOOR:** GARAGE FLOORS SHALL BE SLOPED TO DRAIN TO THE GARAGE DOOR.
- ATTIC ACCESS:** WHEN REQUIRED PROVIDE ATTIC ACCESS DOORS (22 INCH X 30 INCH MIN OPENING) WITH A 30 INCH MIN UNOBSTRUCTED HEADROOM. ACCESS DOOR SHALL BE A MIN OF 20 MINUTE RATED WITH LABEL, OR EQUIVALENT CONSTRUCTION WITH POSITIVE LATCH AND HINGE.
- APPLIANCES IN GARAGE:** PROVIDE PROTECTION FROM AUTOMOTIVE IMPACT. APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE IS NOT LESS THAN 18 INCH ABOVE THE GARAGE FLOOR.
- PENETRATIONS:** PLUMBING PENETRATIONS THOROUGH GARAGE WALL SHALL BE WITH METAL PIPING, INCLUDING WASTE LINES, VACUUM LINES, ETC. AN APPROVED FIRE STOP MATERIAL MUST BE USED. DUCT PENETRATIONS SHALL BE BY MIN 26 GAUGE SHEET METAL, WITH ANY OPENINGS INTO THE GARAGE PROTECTED BY FIRE DAMPERS. NO WINDOWS ARE PERMITTED IN GARAGE FIRE WALL OR IN DOOR BETWEEN THE HOUSE AND GARAGE.
- ELECTRICAL OUTLETS:** FIRE-RESISTIVE WALLS AND PARTITIONS MAY HAVE OPENINGS FOR STEEL ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE INCHES IN AREA, PROVIDED THE AGGREGATE AREA OF SUCH OPENINGS IS NOT MORE THAN 100 SQUARE INCHES FOR ANY 100 SQUARE FEET OF WALL OR PARTITION AREA. OUTLET BOXES ON OPPOSITE SIDES OF WALLS AND PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24 INCHES. ELECTRICAL BOXES IN WALL BETWEEN HOUSE AND GARAGE SHALL BE STEEL OR RATED FOR AT LEAST 1-HOUR CONSTRUCTION BY AN APPROVED TESTING AGENCY.

BASEMENT NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS SHOWN ON THESE PLANS AND W/ BUILDING SITE PRIOR TO COMMENCING ANY WORK ON PROJECT.
- ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
- PROVIDE WINDOW WELLS AS REQUIRED BY FINISH GRADE. (CONTRACTOR TO VERIFY). SEE WINDOW WELL DETAIL.
- BASEMENT'S FINISHING CONDITIONED SPACE SHALL BE INSULATED.
- UNFINISHED AND FINISHED SPACES SHALL BE SEPARATED BY A DOOR.

ABBREVIATIONS

- O/C** INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
- WC** INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
- A/EOR** INDICATES ARCHITECT/ENGINEER OF RECORD



1 BASEMENT PLAN

1/4" = 1'-0"

PLAN NO: M06-000-U-MH
SHEET NO: A-1.0
SHEET TITLE: BASEMENT PLAN

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ARCHITECT/ENGINEER OF RECORD:

REVISIONS	No.	By	Date

PROJECT NAME: MOOSE HOLLOW

OWNER: BID SET

ADDRESS:

DRAWING TITLE: BASEMENT PLAN

PROJECT NO: 07-000
FILE PATH: C:\Documents and Settings\tehr\Desktop\Moose Hollow Bid Set.rvt
DRAWN BY: ABM & C.J.H.
CHECKED BY: KCM
DATE:
SHEET NO: A-1.0
PLAN NO: M06-000-U-MH

FLOOR PLAN NOTES

1. CONTRACTOR WILL VERIFY ALL DIMENSIONS & CONDITIONS SHOWN ON THESE PLANS AND W/ BUILDING SITE PRIOR TO COMMENCING ANY WORK ON PROJECT.
2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
3. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOORS. WIDTH NOT LESS THAN THE DOOR SERVED. MIN DIMENSION 13 INCH MEASURED IN THE DIRECTION OF TRAVEL.
4. SEE ELECTRICAL PLANS, PLUMBING AND MECHANICAL NOTES.

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SHEET TITLE MAIN FLOOR PLAN	PLAN NO: M06-000-U-MH
	SHEET NO: A-1.1

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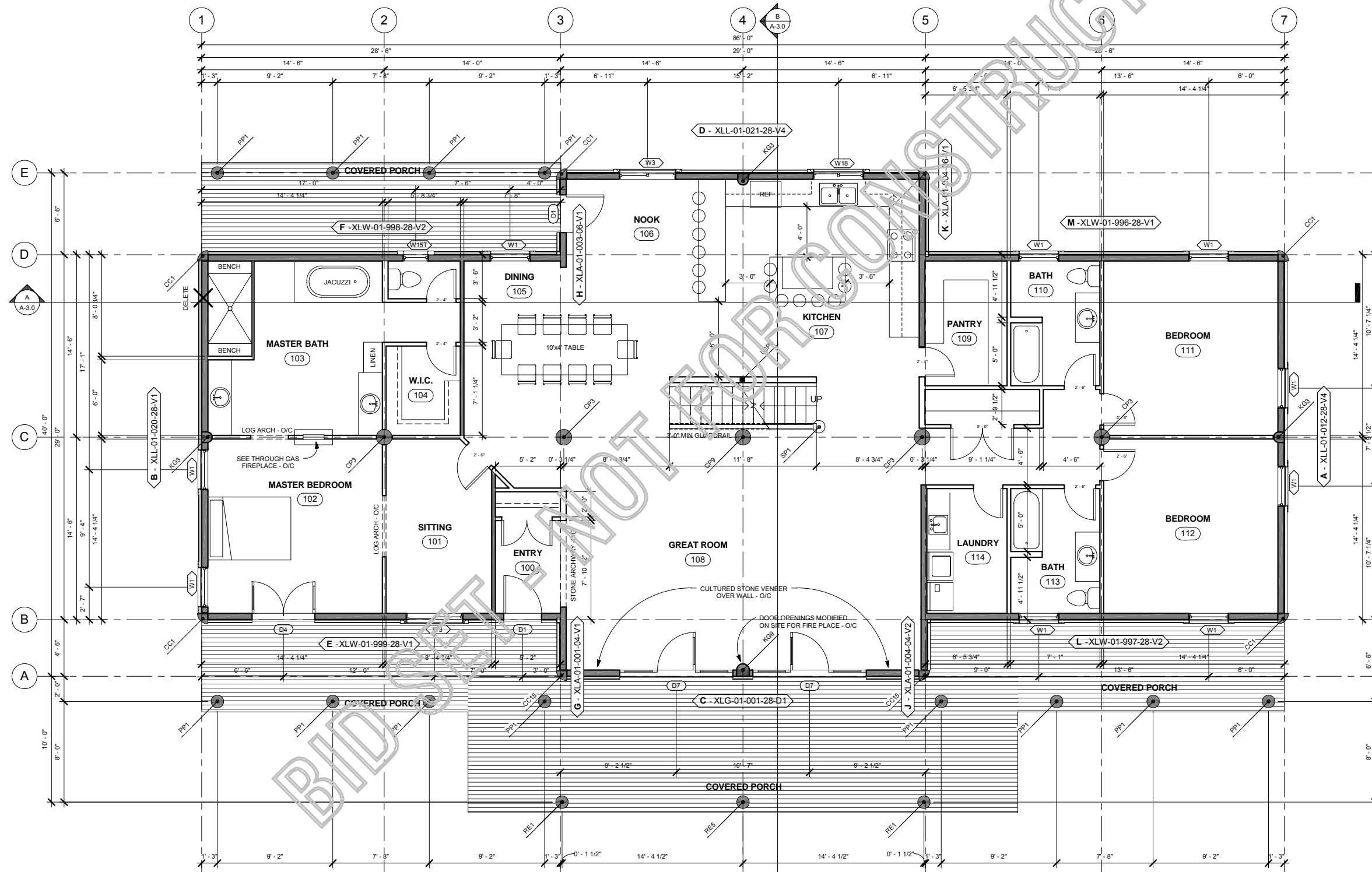
PROJECT NAME:
MOOSE HOLLOW

OWNER:
BID SET

ADDRESS:

DRAWING TITLE:
MAIN FLOOR PLAN

PROJECT NO: M06-000-U-MH	FILE PATH: C:\Documents and Settings\teal\Desktop\Moose Hollow Bid Set.rvt
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	CHECKED BY: KCM
	DATE:
	SHEET NO: A-1.1



1 MAIN FLOOR PLAN
 1/4" = 1'-0"

LOFT PLAN NOTES

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LOFT FLOOR PLAN
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 SHEET NO: A-1.2

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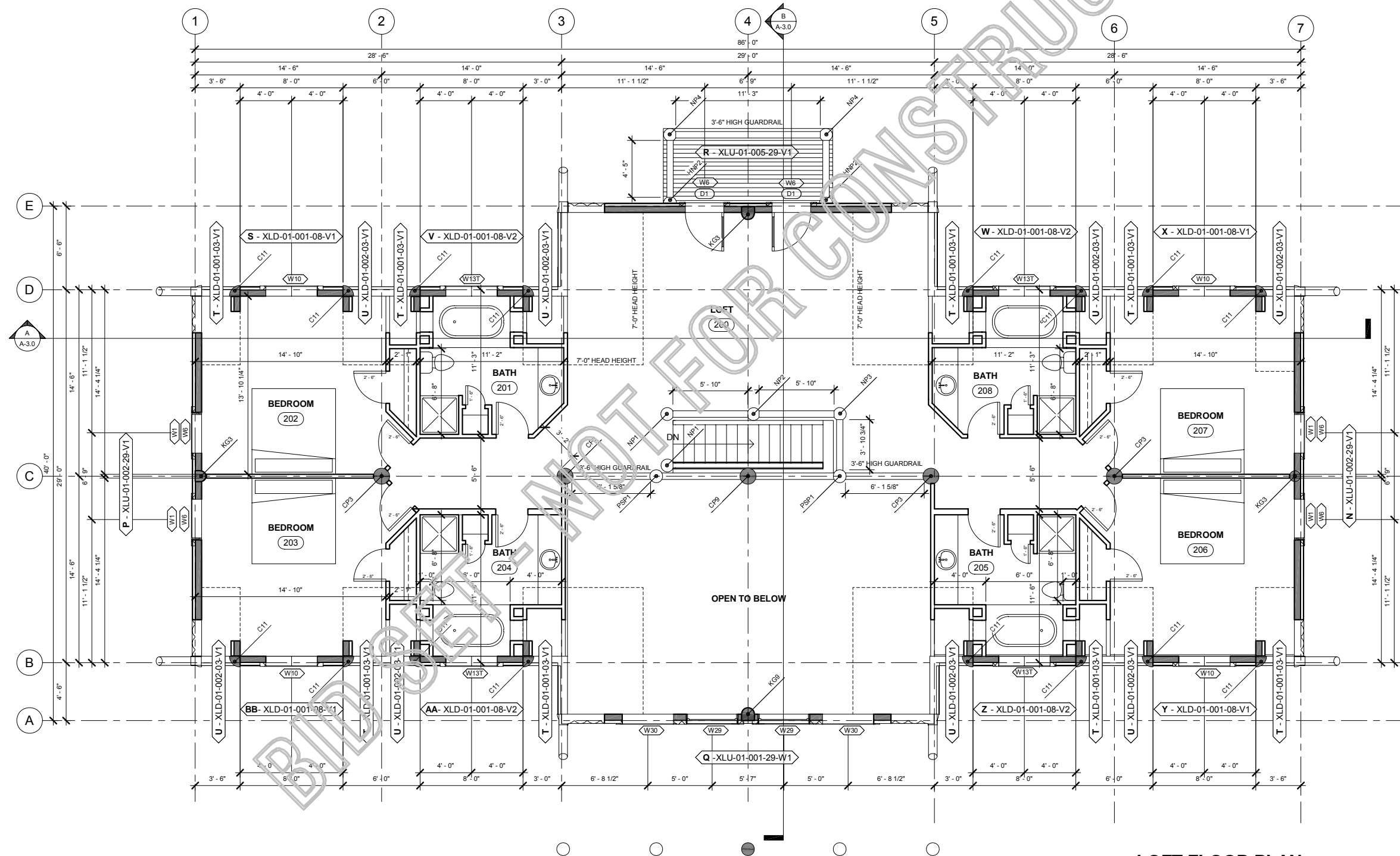
PROJECT NAME:
MOOSE HOLLOW

OWNER:
BID SET

ADDRESS:

DRAWING TITLE:
LOFT FLOOR PLAN

PROJECT NO: 07-000
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 DRAWN BY: ABM & C.J.H.
 CHECKED BY: KCM
 DATE:
 SHEET NO: A-1.2



1 LOFT FLOOR PLAN
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PROJECT NAME:
MOOSE HOLLOW

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BID SET

ADDRESS:

DRAWING TITLE:
FRONT & LEFT ELEVATIONS

PROJECT NO: 07-000	FILE PATH: C:\Documents and Settings\lenie\Desktop\Moose Hollow Bid Set.rvt
DRAWN BY: ABM & CJH	CHECKED BY: KCM
CHECKED BY:	DATE:
SHEET NO: A-2.0	

ELEVATION NOTES

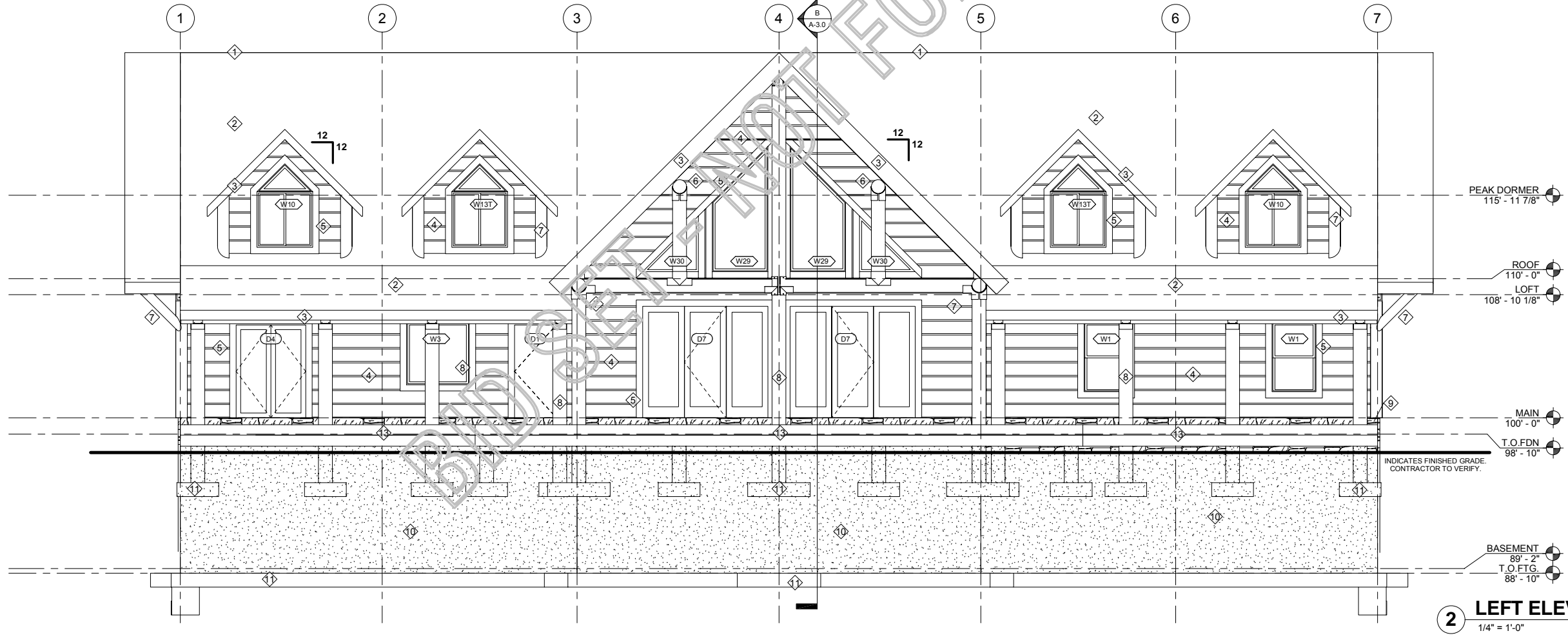
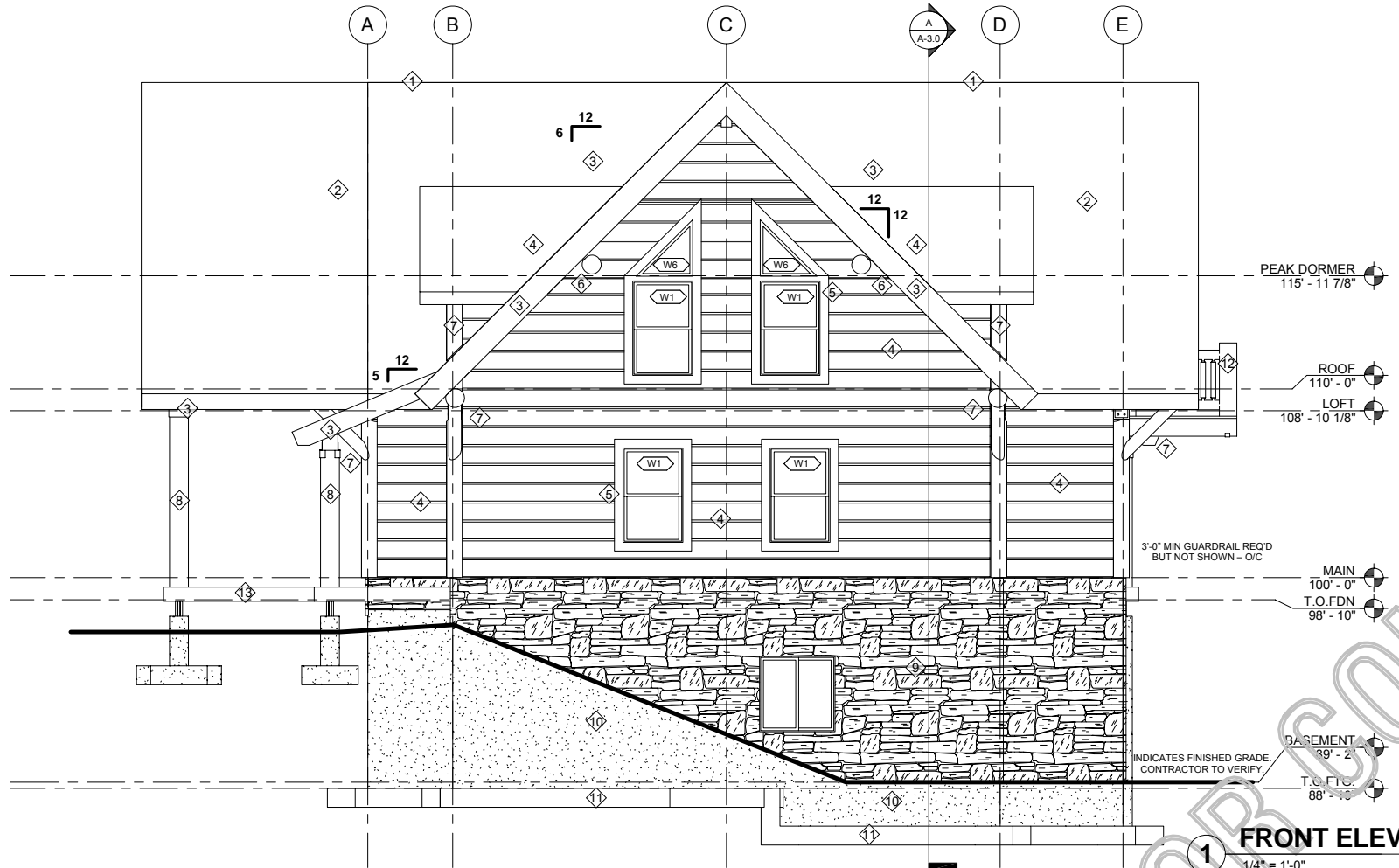
- CONTRACTOR WILL VERIFY ANY AND ALL STEPS IN FOOTINGS & FOUNDATION AS REQUIRED BY EXISTING FINISH GRADES.
- MODIFICATIONS TO THE STRUCTURE MUST BE APPROVED BY THE A/EOR IN WRITING PRIOR TO MAKING ANY CHANGES. GRADES INDICATED ARE APPROXIMATE AND MAY BE MODIFIED SUBJECT TO FINAL SITE CONDITIONS. DRAINAGE AWAY FROM THE STRUCTURE MUST BE MAINTAINED.
- CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

ABBREVIATIONS

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 A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD

ELEVATION MATERIAL KEY

- CONTINUOUS RIDGE VENT - O/C
- ASPHALT SHINGLES - O/C
- ROUGH CUT WOOD FACIA - O/C
- HAND PLANED LOG SIDING W/ 1" CHINKING - WC
- ROUGH CUT WOOD TRIM - WC
- HAND PLANED TIMBER ROOF PURLINS - WC
- HAND PLANED TIMBER CORNER POSTS - WC
- HAND PLANED TIMBER POSTS - WC
- CULTURED STONE VENEER OVER RIM JOIST EXTEND TO GRADE - O/C
- CONCRETE FOUNDATION - O/C
- CONCRETE FOOTING - O/C
- TIMBER RAILING - WC
- FRAMED DECK, STAIRS & GUARDRAIL AS REQ'D BY FINISHED GRADE (SEE GUARDRAIL NOTES - O/C)



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- 1 CONTINUOUS RIDGE VENT - O/C
- 2 ASPHALT SHINGLES - O/C
- 3 ROUGH CUT WOOD FACIA - O/C
- 4 HAND PLANED LOG SIDING W/ 1" CHINKING - WC
- 5 ROUGH CUT WOOD TRIM - WC
- 6 HAND PLANED TIMBER ROOF PURLINS - WC
- 7 HAND PLANED TIMBER CORNER POSTS - WC
- 8 HAND PLANED TIMBER POSTS - WC
- 9 CULTURED STONE VENEER OVER RIM JOIST EXTEND TO GRADE - O/C
- 10 CONCRETE FOUNDATION - O/C
- 11 CONCRETE FOOTING - O/C
- 12 TIMBER RAILING - WC
- 13 FRAMED DECK, STAIRS & GUARDRAIL AS REQ'D BY FINISHED GRADE (SEE GUARDRAIL NOTES - O/C

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